

W.J. JOHNSON & ASSOCIATES

Engineering, Landscape Architecture and Reserve Studies

July 18, 2024

The Board of Directors
South Seas North Condominium Apartments of Marco Island, Inc.
c/o: Barbara Lasher
591 Seaview Court
Marco Island, FL 34145-2619

Phone: 239.394.4564
Email: Blasher@resortgroupinc.com

Subject: **Phase One Structural Inspection
South Seas North Condominium Apartments
Marco Island, FL
Project #: 24024.04**

To the Board of Directors,

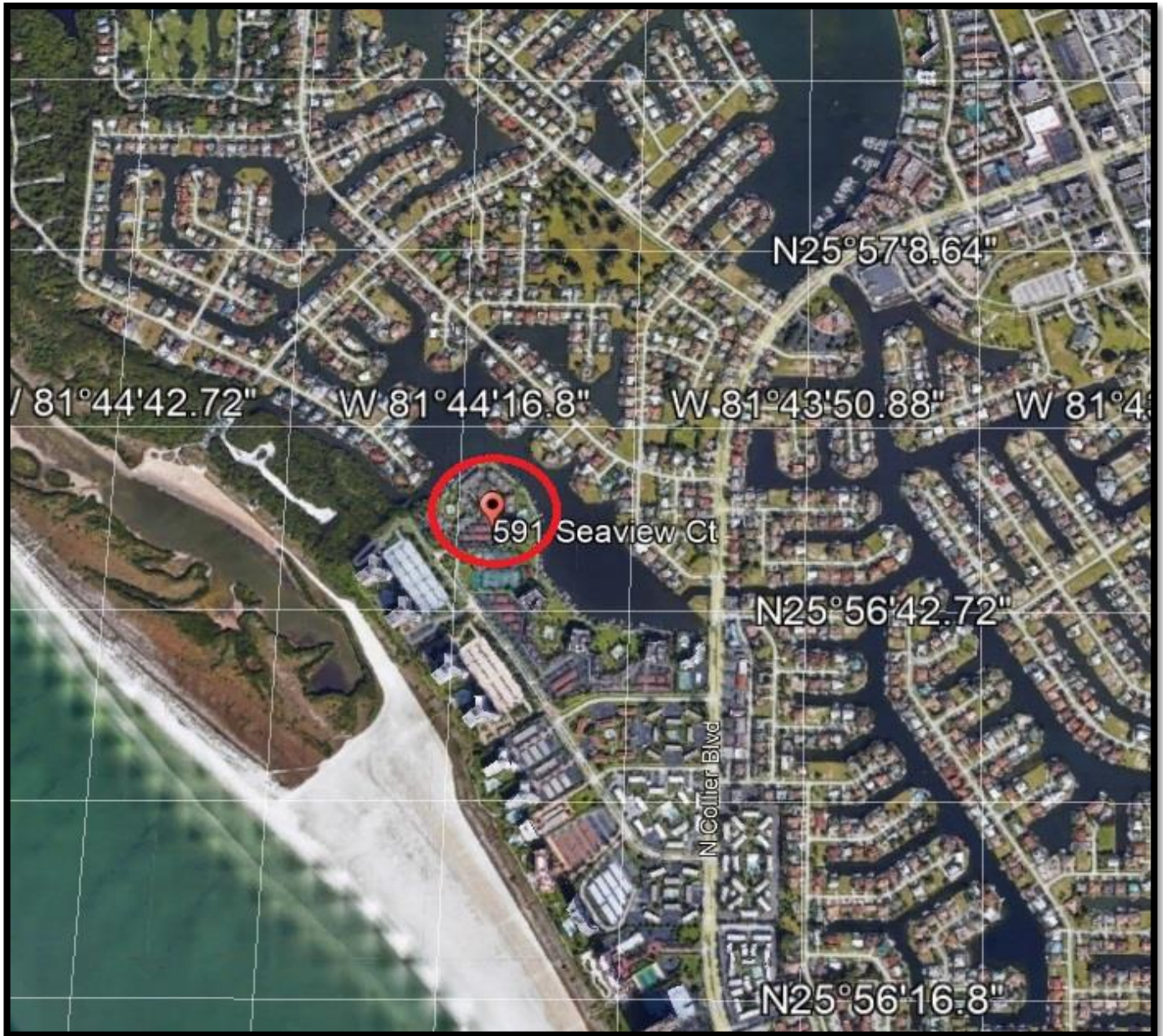
At the request of Ms. Barbara Lasher, I had the opportunity to complete a field inspection of the visually accessible structural elements at South Seas North Condominium Apartments, Inc. located at 591 Seaview Court, Marco Island, FL. This inspection included a visual inspection of all accessible structural members and the roof areas to meet the requirements of the HB-4D, Phase I structural requirements.



East Elevation

Location:

The building is located in Collier County, 591 Seaview Court, Marco Island, FL.



Property Description:

South Seas North Condominium is a 7-story mid-rise residential building constructed in 1978. The building has a central common area serviced by an elevator and two enclosed stairwells. The structural system is a reinforced concrete and concrete block superstructure with reinforced concrete floor slabs. The foundation system is a combination of piles and grade beams.



East Elevation



West Elevation



North Elevation



South Elevation

Maintenance and Repairs:

The follow repairs and maintenance were completed:

- Minor concrete restoration repairs were completed in 2023 based on recommendations by De Stefano Engineering Group.
- The last Painting of the building was completed in 2015.
- New hurricane rated doors and windows were installed in 2022 and 2023.
- A new standby generator is scheduled to be replaced in 2024.

Inspections:

All interior common areas were visually inspected where accessible, including the roof, stairwells, walkways, elevator room, electrical rooms, and the parking garage. The building exterior was visually inspected on all sides. Binoculars were used to view the areas above the first floor.

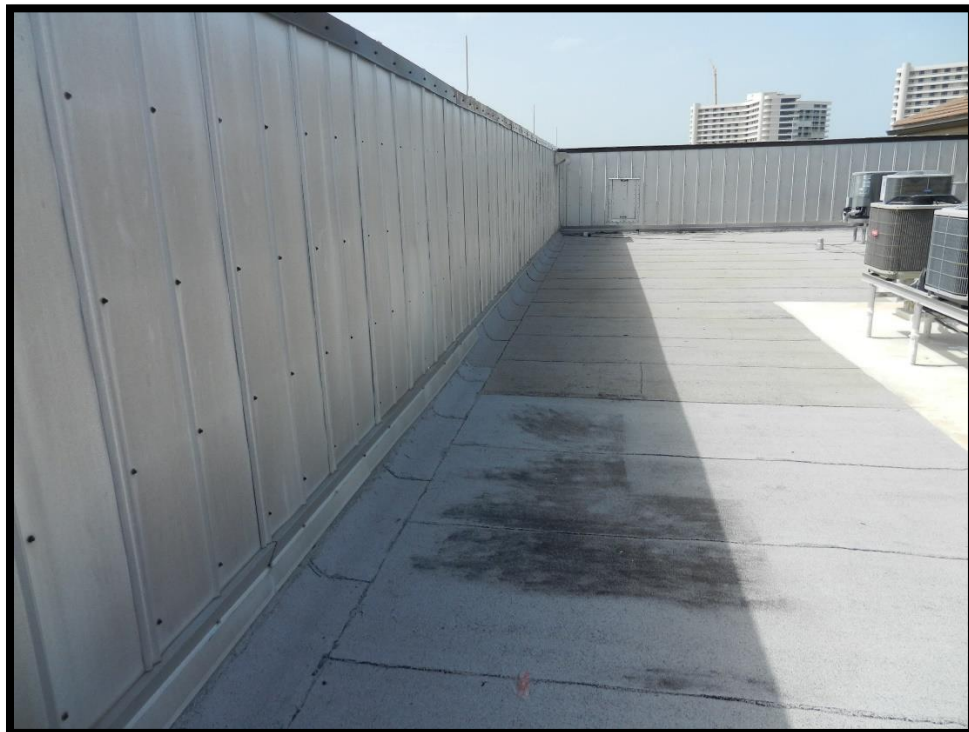
Roof Area:

The roof system is a modified bitumen system installed at all areas in 2021 except for the East wing, which is in good condition. The façade tile was replaced in in 2023. The façade roof is supported by a wood truss system in good condition. The wood truss system is double strapped to the structural system.





East Wing Roof





Overflow Scupper



Roof Drain



Façade Roofing

Building Exterior:

The exterior of the building is constructed using reinforced concrete columns and beams with masonry wall and a stucco finish. The building is in good condition with minor areas of concern including the following:



North Elevation Rust Streaking



North Elevation Rust Streaking



South Elevation Lanai Spauling



South Elevation Lanai Concrete Spauling

Executive Summary:

Based on this Phase I visual review, it is our opinion that the building is in good structural condition.

- This Inspection has been performed in accordance with Florida Statute 553.899.
- The scope of this review is limited to a visual condition inspection of the accessible structural components of the building. This includes all visible structural elements, elevator shafts, stairways and the roof. Structural components include load bearing columns, beams, slabs and walls. Any area showing deterioration such as concrete cracking or spalling, exposed rebar, rust stains, water intrusion, deflection, misalignment or settling has been identified.
- Rust streaking should be repaired at the next painting.
- The South elevation cracking / spalling should be repaired within the next 6 months. Please note that this repair will require a building permit from the City of Marco Island.
- Renew Phase I milestone inspection in 10 years per Florida Statute.
- **No Additional inspections are required.**

Please feel free to contact W.J. Johnson & Associates if you have any questions.

Respectfully Submitted
W.J. JOHNSON & ASSOCIATES

Chris Eseppi
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Principal Engineer