

W.J. JOHNSON & ASSOCIATES

Engineering, Landscape Architecture and Reserve Studies

February 12, 2025

The Board of Directors
South Seas East Condominium Apartments of Marco Island, Inc.
c/o: David Givney
601 Seaview Court
Marco Island, FL 34145
Phone : (239) 394-6863

Email dgivney@resortgroupinc.com
eboiselle@resortgroupinc.com

Subject: **HB-4D Phase One Structural Inspection**
South Seas East Condominium Apartments of Marco Island, Inc.
651 Seaview Ct. Building B
Marco Island, FL
Project #: 22069.04

To the Board of Directors,

At your request, I had the opportunity to complete a field inspection of the visually accessible structural elements at South Seas East Condominium Apartments building B, located at 651 Seaview Court, Marco Island, FL. This inspection included a visual inspection of all accessible structural members and the roof areas to meet the requirements of the HB-4D, Phase I structural requirements.

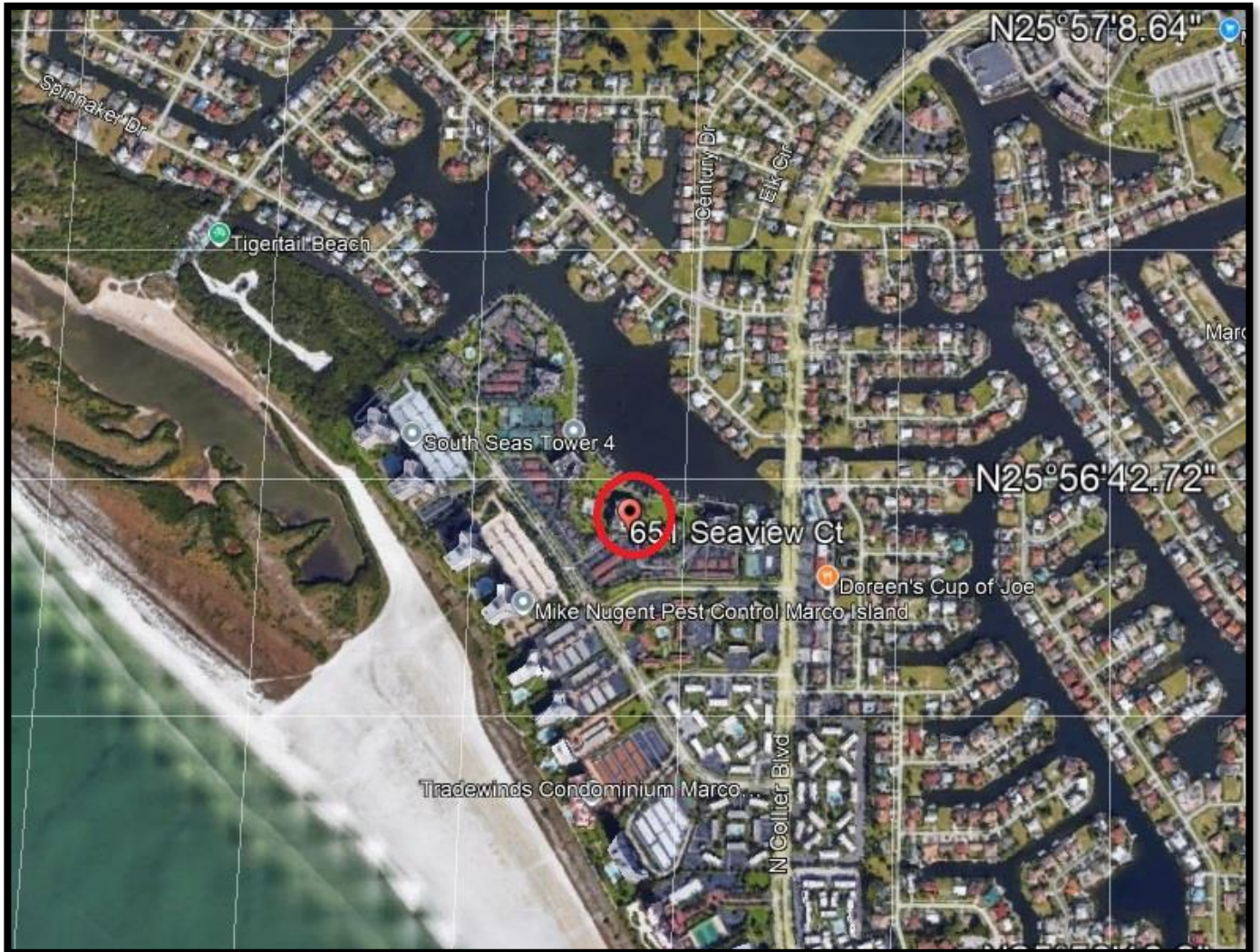


West Elevation

HB-4D Phase One Structural Inspection
South Seas East Condominium Apartments of Marco Island, Inc.
651 Seaview Ct. Building B
Marco Island, FL
Project #: 22069.04
February 12, 2025
Page 2 of 11

Location:

The building is located in Collier County, 651 Seaview Court, Marco Island, FL. Folio #58720680008



Property Description:

South Seas East Condominium is a 7-story mid-rise residential building constructed in 1979. The building has a central common area serviced by an elevator and two enclosed stairwells. The structural system is a reinforced concrete spread footings and superstructure with reinforced concrete floor slabs. The exterior walls are concrete block, and the mansard roof is wood truss construction. This is considered type 3 in accordance with the building code.

HB-4D Phase One Structural Inspection
South Seas East Condominium Apartments of Marco Island, Inc.
651 Seaview Ct. Building B
Marco Island, FL
Project #: 22069.04
February 12, 2025
Page 3 of 11



East Elevation

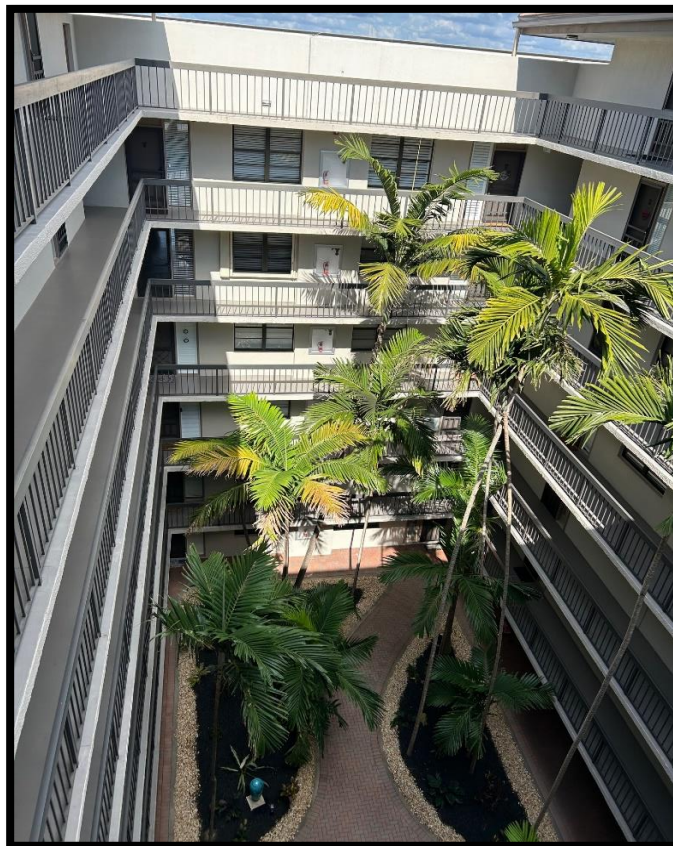


South Elevation

**HB-4D Phase One Structural Inspection
South Seas East Condominium Apartments of Marco Island, Inc.
651 Seaview Ct. Building B
Marco Island, FL
Project #: 22069.04
February 12, 2025
Page 4 of 11**



North Elevation



Interior Courtyard



Typical Railings



Typical Stairwell

Maintenance and Repairs:

The follow repairs and maintenance were completed:

- Concrete restoration repairs are currently ongoing. Permit # comm-24-05264.
- New roof installation recently completed. Permit #Roof 22-007867 This permit is listed as being expired and not finalized.
- A new standby generator has recently replaced.

Inspections:

All interior common areas were visually inspected where accessible, including the roof, stairwells, walkways, elevator room, electrical rooms, and the parking garage. The building exterior was visually inspected on all sides. Binoculars were used to view the areas above the first floor.

Roof Area:

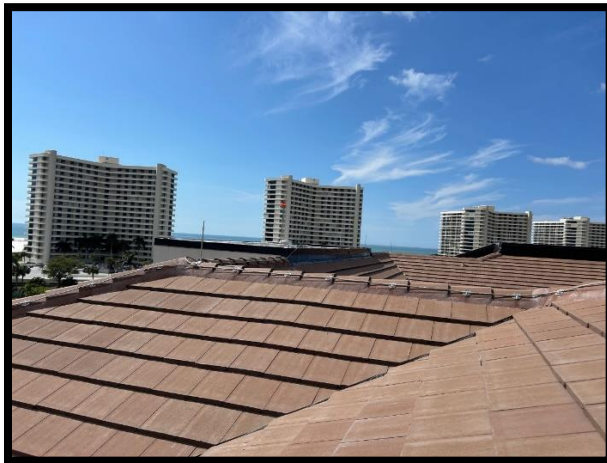
The roof system is a modified bitumen system installed at all areas in 2023 under permit #ROOF-22-07867. This permit is listed as expired. This includes the flat roof and the pitched concrete tile mansard sections. The roof is in good condition. The HVAC condensers are supported by structural aluminum stands in good condition.

HB-4D Phase One Structural Inspection
South Seas East Condominium Apartments of Marco Island, Inc.
651 Seaview Ct. Building B
Marco Island, FL
Project #: 22069.04
February 12, 2025
Page 6 of 11





Roof Drains and Scuppers



Tile Mansard Roof



Parapet Flashing



HVAC Supports

Building Exterior:

The exterior of the building is constructed using reinforced concrete columns and beams with masonry wall and a stucco finish. The building is currently undergoing concrete and stucco repair and scheduled for painting within the next two years.

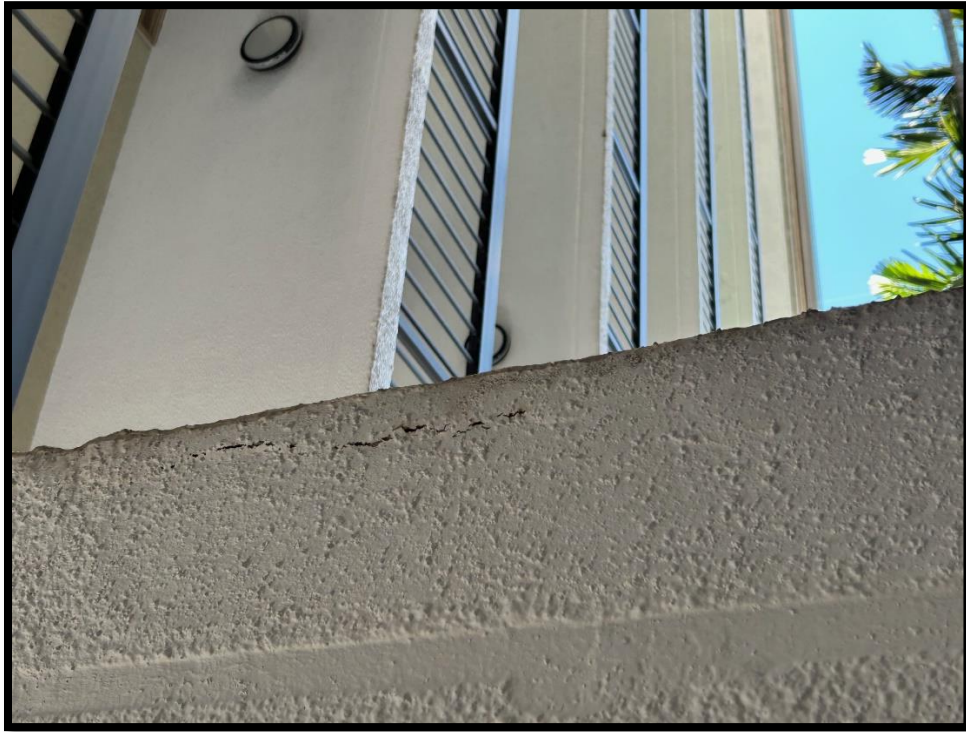


Areas Identified for Repair

Additional Areas of Concern:



Interior Courtyard Second Floor West



Interior Courtyard Third Floor West



Sixth Floor Northwest

Executive Summary:

Based on this Phase I visual review, it is our opinion that the building is in good structural condition.

- This Inspection has been performed in accordance with Florida Statute 553.899.
- The scope of this review is limited to a visual condition inspection of the accessible structural components of the building. This includes all visible structural elements, elevator shafts, stairways and the roof. Structural components include load bearing columns, beams, slabs and walls. Any area showing deterioration such as concrete cracking or spalling, exposed rebar, rust stains, water intrusion, deflection, misalignment or settling has been identified.
- The building is currently under repair. The contractor should sound the interior courtyard to identify any additional areas of concern.
- Renew Phase I milestone inspection in 10 years per Florida Statute.
- **No Additional inspections are required.**

Please feel free to contact W.J. Johnson & Associates if you have any questions.

Respectfully Submitted
W.J. JOHNSON & ASSOCIATES

Chris Eseppi
Christopher Eseppi, PE#: 84902
Principal Engineer