

Structural Integrity Reserve Study

Prepared for:

**SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND,
INC.**

Prepared By:



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Account - Version

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Part I Executive Summary

General Description

The Sandpiper Condominium building was originally built in 1984 (Figure 1-Figure 4). The building is constructed of cast-in-place concrete columns and post-tensioned floor and roof slabs. The exterior walls consist of concrete masonry units (CMU) between the vertical cast-in-place concrete columns into which doors and windows were installed. Each unit has multiple balconies with tile floor coverings and a perimeter knee wall of CMU construction with drainage scuppers that is topped with a metal railing. The exterior cladding is stucco. Previously, there was a substantial facade repair that took place from approximately 2008 to 2009 and then again from 2018 to 2019.

Purpose and Scope

The purpose of this engagement is to provide a Structural Integrity Reserve Study (SIRS) budget for The Sandpiper Condominium for the period 2025-2034. A new SIRS will be required in 2035 along with the 2035 Phase One Inspection.

Structural Integrity Reserve Study

A Structural Integrity Reserve Study (SIRS) includes both a Physical Analysis and a Financial Analysis of the Association's common elements.

The required elements under SIRS are:

- Roof
- Structure
- Windows & Doors
- Fire safety System
- Electrical System
- Plumbing System
- Exterior Paint & Waterproofing

Physical Analysis Summary

Overall, the SIRS elements of The Sandpiper Condominium are in good condition. The building is scheduled for repainting in 2028, and the flat Modified-Bit roof is scheduled for replacement in 2031.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.

Financial Analysis

The major elements of the Financial Analysis are:

- Interest income at 3.0 % /year
- Inflation at 3.0 % per year

An opening 1/1/2025 SIRS reserve balance of \$400,000 results in SIRS owner's contribution of \$180,964 in 2025. The owner's contribution decreases through 2029 then slowly rise between 2030 and 2034.

The scheduled expenses are totaled-per-year, and their payment drives a contribution schedule shown below. The first ten years of collections & expenditures are summarized as a SIRS budget below:

<u>Year</u>	<u>Collections</u>	<u>Expenditures</u>
<i>Opening</i>	\$ 400,000	
2025	\$180,964	\$8,500
2026	\$180,268	\$8,755
2027	\$179,613	\$0
2028	\$175,455	\$741,831
2029	\$137,950	\$11,255
2030	\$139,461	\$9,854
2031	\$144,237	\$494,338
2032	\$146,018	\$0
2033	\$148,524	\$10,768
2034	\$150,937	\$0

Part II Physical Analysis

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.

Asset Detail

Roof - Modified-Bit - 2031

Asset ID		1 System @ \$414,000.00
		Asset Actual Cost \$414,000.00
		Percent Replacement 100%
Category	Roofing	Future Cost \$494,337.65
Placed in Service	January 2011	Assigned Reserves <i>none</i>
Useful Life	20	
Replacement Year	2031	Annual Assessment \$65,049.81
Remaining Life	6	Interest Contribution <u>\$1,951.49</u>
		Reserve Allocation \$67,001.31



The roof is a modified bitumin membrane installed in 2011. It is in good condition. The roof is inspected and repaired quarterly. The roof area is approximately 16,000 SqFt.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

Roofing - Total Current Cost	\$414,000
Assigned Reserves	\$0
Fully Funded Reserves	\$289,800

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Asset Detail

Exterior Painting - 2028

Asset ID		1 cycle @ \$578,880.00
		Asset Actual Cost \$578,880.00
		Percent Replacement 100%
Category	Painting	Future Cost \$632,557.81
Placed in Service	January 2018	Assigned Reserves \$314,214.29
Useful Life	10	
Replacement Year	2028	Annual Assessment \$82,003.41
Remaining Life	3	Interest Contribution <u>\$11,886.53</u>
		Reserve Allocation \$93,889.94



The building was last painted in 2018 and is on a 10 year painting cycle. The exterior surface area is approximately 200,000 SF. This is for painting the building, not the railings.

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Asset Detail

Painting - Total Current Cost	\$578,880
Assigned Reserves	\$314,214
Fully Funded Reserves	\$405,216

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

Windows & Doors - 2029

Asset ID		1 allowance	@ \$10,000.00
		Asset Actual Cost	\$10,000.00
		Percent Replacement	100%
Category	Windows & Doors	Future Cost	\$11,255.09
Placed in Service	January 2029	Assigned Reserves	<i>none</i>
Useful Life	25		
Replacement Year	2029	Annual Assessment	\$2,324.07
Remaining Life	4	Interest Contribution	<u>\$69.72</u>
		Reserve Allocation	\$2,393.79



Unit Owners are required to have impact glass or shutters on all windows and sliders. 75% of the common glass has been replaced post Wilma with impact glass. The remaining common windows were replaced with tempored glass post Wilma due to the lack of impact glass at the time as these windows were broken. All floor common areas are conditioned and all interior doors are in good condition. The interior hardware on all interior doors was changed in 2023. There are 6 exterior hollow metal doors that may require replacing in the next 5 years.

This is a one-time allowance to replace the 6 exterior doors by 2029.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

Windows & Doors - Total Current Cost	\$10,000
Assigned Reserves	\$0
Fully Funded Reserves	\$8,400

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Asset Detail

Electrical Switchgear - 2025

Asset ID		1 system	@ \$8,500.00
		Asset Actual Cost	\$8,500.00
		Percent Replacement	100%
Category	Electrical	Future Cost	\$8,500.00
Placed in Service	January 2025	Assigned Reserves	\$8,500.00
Useful Life	5		
Replacement Year	2025	Annual Assessment	\$1,585.72
Remaining Life	0	Interest Contribution	\$47.57
		Reserve Allocation	\$1,633.29



Original switch gear and distribution centers from 1984.

Every third floor is fed with an 800 Amp sub panel.

The Electrical equipment is all by Square D.

This type of system has a life expectancy of 50 years. This equipment is not obsolete and parts are in stock. It is currently in good condition.

This is an allowance to have an electrician conduct a thermal video inspection inside the switchgear and panels every 5 years, looking for hot spots.

The replacement cost is estimated at \$350,000.

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Asset Detail

Backup Generator - 2060

Asset ID		1 system	@ \$96,139.00
		Asset Actual Cost	\$96,139.00
		Percent Replacement	100%
Category	Electrical	Future Cost	\$270,521.92
Placed in Service	January 2020	Assigned Reserves	<i>none</i>
Useful Life	40		
Replacement Year	2060	Annual Assessment	\$3,712.46
Remaining Life	35	Interest Contribution	<u>\$111.37</u>
		Reserve Allocation	\$3,823.83



The building has a diesel emergency generator to operate the base building electric in times of power outages.

This is a Gillette generator with an auto transfer switch installed in 2020.

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Asset Detail

Electrical - Total Current Cost	\$104,639
Assigned Reserves	\$8,500
Fully Funded Reserves	\$20,517

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Asset Detail

Fire Safety - Fire Panel - 2046

Asset ID		1 system	@ \$230,400.00
		Asset Actual Cost	\$230,400.00
		Percent Replacement	100%
Category	Fire Safety	Future Cost	\$428,611.87
Placed in Service	January 2016	Assigned Reserves	<i>none</i>
Useful Life	30		
Replacement Year	2046	Annual Assessment	\$12,446.30
Remaining Life	21	Interest Contribution	<u>\$373.39</u>
		Reserve Allocation	\$12,819.69



The fire alarm system is an EST system. This system was updated 8 years ago. This is an excellent, fully monitored system, with all required devices throughout the building.

This system has a life cycle of 30 years.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.

Asset Detail

Fire Safety - Sprinkler System - 2055

Asset ID		1 system	@ \$78,660.00
		Asset Actual Cost	\$78,660.00
		Percent Replacement	100%
Category	Fire Safety	Future Cost	\$190,928.46
Placed in Service	January 2020	Assigned Reserves	<i>none</i>
Useful Life	35		
Replacement Year	2055	Annual Assessment	\$3,332.89
Remaining Life	30	Interest Contribution	<u>\$99.99</u>
		Reserve Allocation	\$3,432.88



The fire safety system begins with a sprinkler system serving the interior of the main building with a single sprinkler head in each entry to all residences.

The fire pump is a diesel system installed in 2016. This should have a life cycle of 35 years.

Sprinkler heads are replaced as needed.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

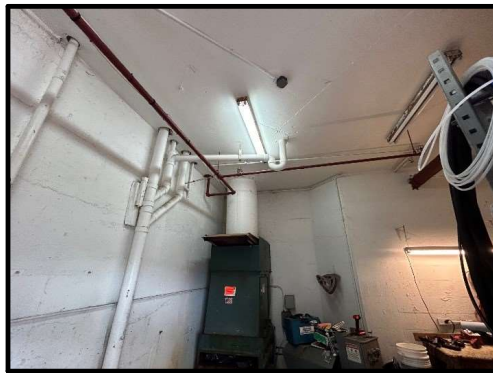
Fire Safety - Total Current Cost	\$309,060
Assigned Reserves	\$0
Fully Funded Reserves	\$80,357

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Asset Detail

Plumbing - 2026

Asset ID		1 cycle	@ \$8,500.00
		Asset Actual Cost	\$8,500.00
		Percent Replacement	100%
Category	Plumbing	Future Cost	\$8,755.00
Placed in Service	January 2019	Assigned Reserves	\$7,285.71
Useful Life	7		
Replacement Year	2026	Annual Assessment	\$1,214.29
Remaining Life	1	Interest Contribution	<u>\$255.00</u>
		Reserve Allocation	\$1,469.29



Plumbing pipe consists of copper supply and PVC waste pipe.

The HOA had the stacks scoped in the last 5 years and found no issues.

The sanitary waste piping is PVC and this is a solid choice of pipe for sanitary waste in South Florida.

This is an allowance for jet cleaning these pipes every 7 years. This will maintain this system for many years.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

Plumbing - Total Current Cost	\$8,500
Assigned Reserves	\$7,286
Fully Funded Reserves	\$7,286

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.

Asset Detail

Structure - 2028

Asset ID		1 cycle @ \$100,000.00	
		Asset Actual Cost	\$100,000.00
		Percent Replacement	100%
Category	Structure	Future Cost	\$109,272.70
Placed in Service	January 2028	Assigned Reserves	\$70,000.00
Useful Life	10		
Replacement Year	2028	Annual Assessment	\$9,295.13
Remaining Life	3	Interest Contribution	<u>\$2,378.85</u>
		Reserve Allocation	\$11,673.98



The building was constructed in 1984 consisting of reinforced concrete, masonry and post tension floor slabs. The exterior stucco was replaced in 2008 / 2009 as a result of damage from Hurricane Wilma. The building was painted in 2018 and stucco repairs were completed again at that time. There were only minor concrete repairs in 2018.

This is an allowance for \$100,000 in structural repairs with the next paint cycle in 2028.

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

Structure - Total Current Cost	\$100,000
Assigned Reserves	\$70,000
Fully Funded Reserves	\$70,000

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Asset Detail

Detail Report Summary

Grand Total

Assigned Reserves	\$400,000.00
Annual Contribution	\$180,964.07
Annual Interest	\$17,173.92
Annual Allocation	\$198,138.00

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.**Asset Index**

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Windows & Doors			
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Electrical			
	Backup Generator	2060	11
	Electrical Switchgear	2025	10
Fire Safety			
	Fire Safety - Fire Panel	2046	13
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Plumbing			
	Plumbing	2026	16
Structure			
	Structure	2028	18
	Total Funded Assets	9	
	Total Unfunded Assets	<u>0</u>	
	Total Assets	9	

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.

Marco Island, FL

Fully Funded Cash Flow Funding Model Summary

<i>Report Parameters</i>	
Report Date	May 15, 2024
Budget Year Beginning	January 1, 2025
Budget Year Ending	December 31, 2025
Inflation	3.00%
Interest Rate on Reserve Deposit	3.00%
2025 Beginning Balance	\$400,000

Component Funding Model

<i>Component Funding Model Summary of Calculations</i>	
Required Annual Contribution	\$180,964.07
Average Net Annual Interest Earned	<u>\$17,173.92</u>
Total Annual Allocation to Reserves	\$198,138.00

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Fully Funded Cash Flow Model Funding Model Projection

Beginning Balance: \$400,000

Year	Current Cost	Annual Contribution	Annual Interest	Annual Expenditures	Projected Ending Reserves	Fully Funded Reserves	Percent Funded
2025	1,525,079	180,964	17,174	8,500	589,638	1,006,629	59%
2026	1,570,831	180,268	22,835	8,755	783,986	1,138,391	69%
2027	1,617,956	179,613	28,908		992,506	1,286,441	77%
2028	1,666,495	175,455	12,784	741,831	438,915	678,264	65%
2029	1,716,490	137,950	16,968	11,255	582,578	807,391	72%
2030	1,756,392	139,461	21,366	9,854	733,551	945,445	78%
2031	1,809,084	144,237	11,503	494,338	394,953	592,342	67%
2032	1,863,356	146,018	16,229		557,200	741,645	75%
2033	1,919,257	148,524	20,849	10,768	715,806	888,283	81%
2034	1,976,834	150,937	26,002		892,745	1,054,475	85%

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Annual Expenditure Detail

Description	Expenditures
Replacement Year 2025	
Electrical	
Electrical Switchgear	8,500
Total for 2025	\$8,500
Replacement Year 2026	
Plumbing	
Plumbing	8,755
Total for 2026	\$8,755
<i>No Replacement in 2027</i>	
Replacement Year 2028	
Painting	
Exterior Painting	632,558
Structure	
Structure	109,273
Total for 2028	\$741,831
Replacement Year 2029	
Windows & Doors	
Windows & Doors	11,255
Total for 2029	\$11,255
Replacement Year 2030	
Electrical	
Electrical Switchgear	9,854
Total for 2030	\$9,854
Replacement Year 2031	
Roofing	
Roof - Modified-Bit	494,338
Total for 2031	\$494,338

SANDPIPER CONDOMINIUM ASSOCIATION of MARCO ISLAND, INC.
Annual Expenditure Detail

Description	Expenditures
<i>No Replacement in 2032</i>	
Replacement Year 2033	
Plumbing	
Plumbing	10,768
Total for 2033	<u>\$10,768</u>
<i>No Replacement in 2034</i>	