

W.J. JOHNSON & ASSOCIATES

Engineering, Landscape Architecture and Reserve Studies

September 28, 2022

Board of Directors
c/o: Ms. Linda Flanigan, Manager
The Sandcastle I Condominium Association, Inc.
730 South Collier Boulevard
Marco Island, FL 34145

Phone: (239) 642-6500
Email: office@sandcastle1.com

Subject: **Limited Structural Review and Wind Mitigation Report
Sandcastle I Condominium
Project #: 05128.07**

To the Board of Directors,

At the request of Ms. Linda Flanigan, I had the opportunity to complete a field inspection of the visually accessible structural elements at Sandcastle I Condominium located at 730 South Collier Boulevard, Marco Island, FL. This inspection included a visual inspection of all exposed structural members in the common areas, roof, and the parking structure.



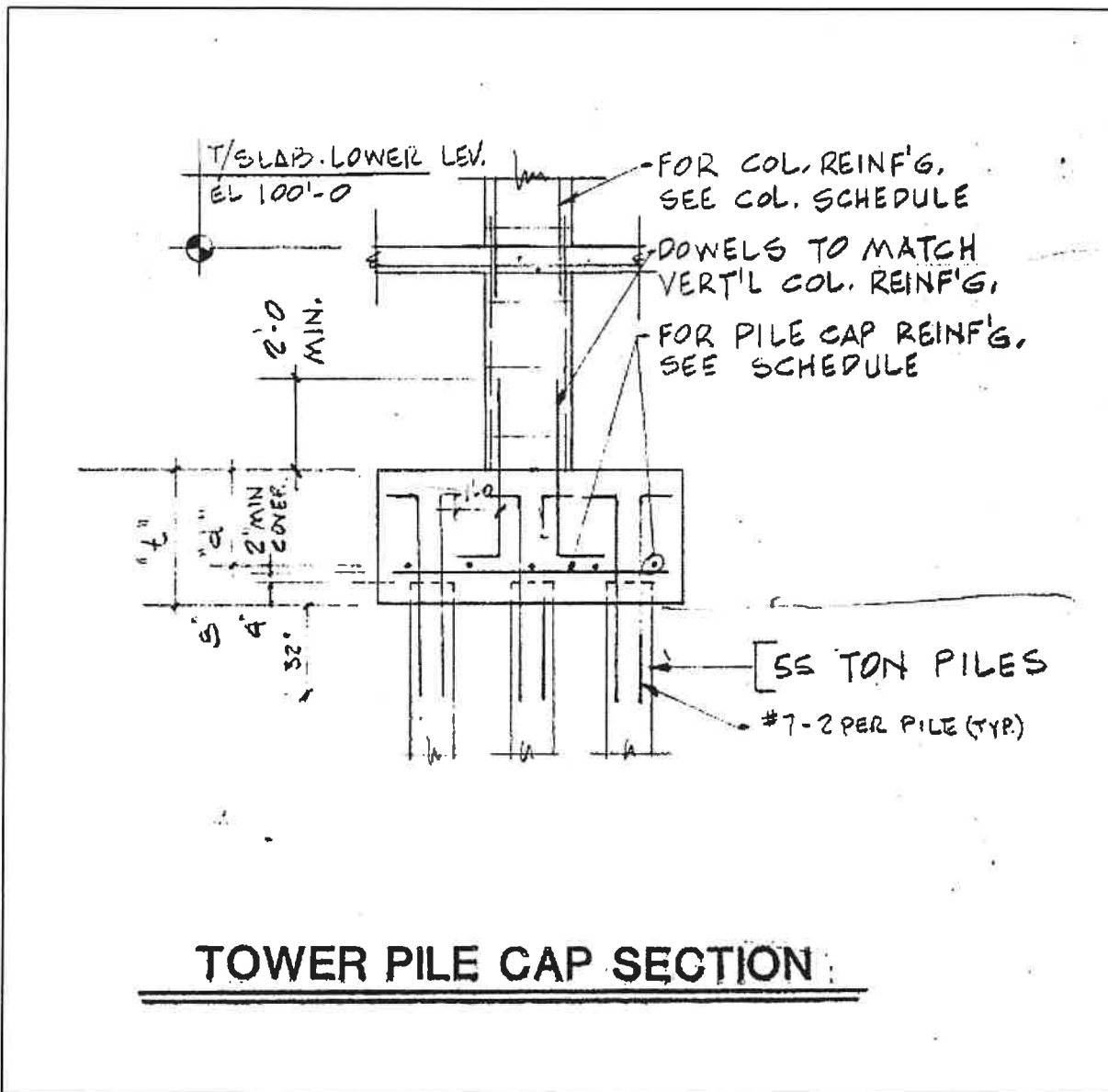
Location:

The building is located in Collier County, 730 South Collier Boulevard, Marco Island, FL.



Property Description:

The Sandcastle I Condominium is a 14-story high-rise residential building constructed in 1981. Each floor consists of multiple residential units. The building has a central common area serviced by an elevator and two stairwells. The Eastern side of the public access is open to the exterior environment. The structural system is a reinforced concrete and concrete block superstructure with reinforced concrete post tension floor slabs. A record set of building drawings indicate that the building was built on concrete pile foundations.



Maintenance and Repairs:

I was met on site by the building Manager, Ms. Linda Flanigan. Ms. Flanigan was able to provide a history of the building's maintenance and repairs. The follow repairs and maintenance were completed:

- Exterior painting and stucco repair was completed in 2019. This work included lanai edge concrete repairs as needed.
- New hurricane rated doors were installed at the common areas.
- The building is on a seven-year painting cycle.
- The two stairwells are contracted to replace the exit pass doors and hardware.



Common Area Impact Rated Pass Doors

Inspections:

All interior common areas were visually inspected where accessible, including the roof, stairwells, walkways, elevator room, electrical rooms, and the parking garage. The building exterior was visually inspected on all sides. Binoculars were used to view the areas above the first floor.

Based on these limited non-destructive inspections and within a reasonable amount of engineering certainty, I did not observe conditions that would compromise the structural integrity of the building for its intended use. However, I did observe areas of concern that should be investigated and/or repaired within the next 12 months.

Roof Area:

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The roof system is a Fiber Tight membrane system installed in 2006. This type of system should produce a 30-year life cycle. The roof was recently inspected by Sutter Roofing who will be doing repairs. Roof inspections are done on an as-needed basis. The roof is in good condition and should provide an additional 10 years of service. It is recommended that the roof be inspected by a qualified roofing company annually at a minimum.



Roof Drain with Overflow

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The roof at the membrane roof system at the first-floor carport is in poor condition with several cracks in the light weight concrete finish.



Damaged Skylight

Structural Elements:
Roof Level:



Roof Structure Near the Cooling Tower





Furnace Roof Louver



Furnace Roof Pass Door



Unit 1501 Lanai:

There is evidence of paint blistering. This should be addressed at the next painting cycle.



Paint Blistering

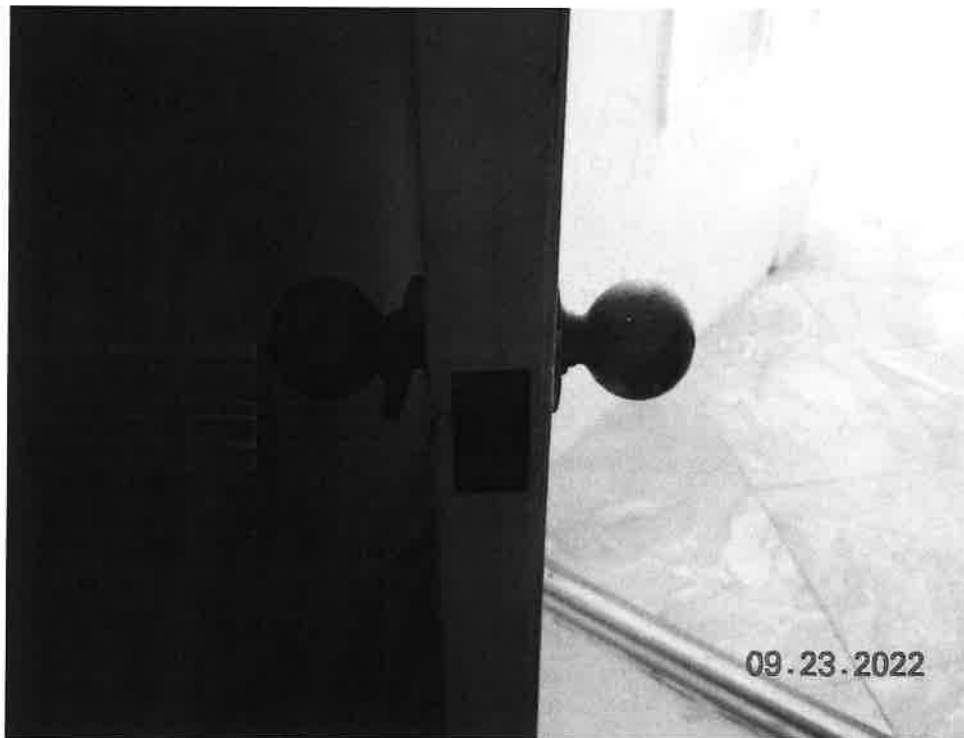
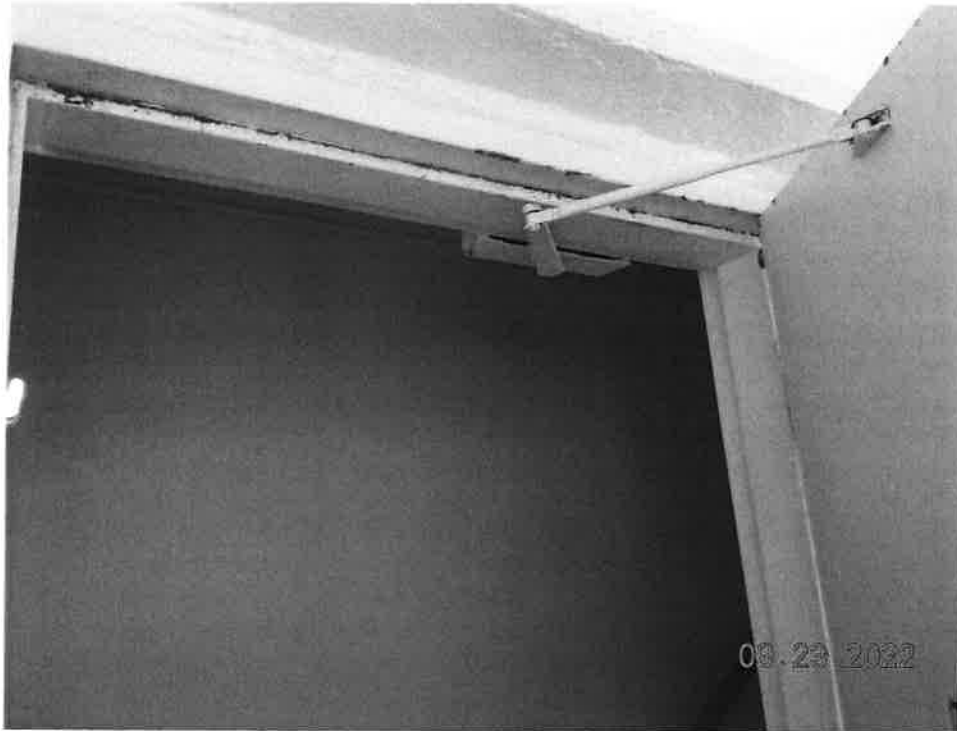
Stairwells:

The common areas are serviced by two fire rated stairwells that discharge directly to the exterior. There are two areas within the stairwells that display evidence of moisture infiltration. This could be a flashing detail at the adjacent penthouse decks. These issues should be addressed within the next year.

The stairwell pass doors are in poor condition, however, they are scheduled for replacement this year.



Moisture Infiltration Between Floors 12 and 13 both Stairwells



Stairwell Exit Doors

Exterior Accessways:

Each level of the East side of the building is serviced by an exterior walkway. These areas are susceptible to moisture damage during a tropical rain event. These areas are now being protected by hurricane curtains manually attached to the structure. The first-floor level displays evidence of moisture infiltration from previous events.



New Hurricane Curtains Being Installed Prior to Hurricane Ian



Delaminating Tile, 4th Floor South



First Floor Moisture Damage

Pool Equipment Room:

Masonry deterioration due to pool chemicals was observed. This should be repaired as part of the next painting cycle. The area should be coated with a chemical resistant epoxy coating once repaired.



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Building Exterior:

The exterior of the building is constructed using reinforced concrete columns and beams with masonry wall and a stucco finish. The building is in good condition with the following area of concern: These issues should be addressed during the next painting cycle.



East Elevation



#1 Paint Blistering



#2



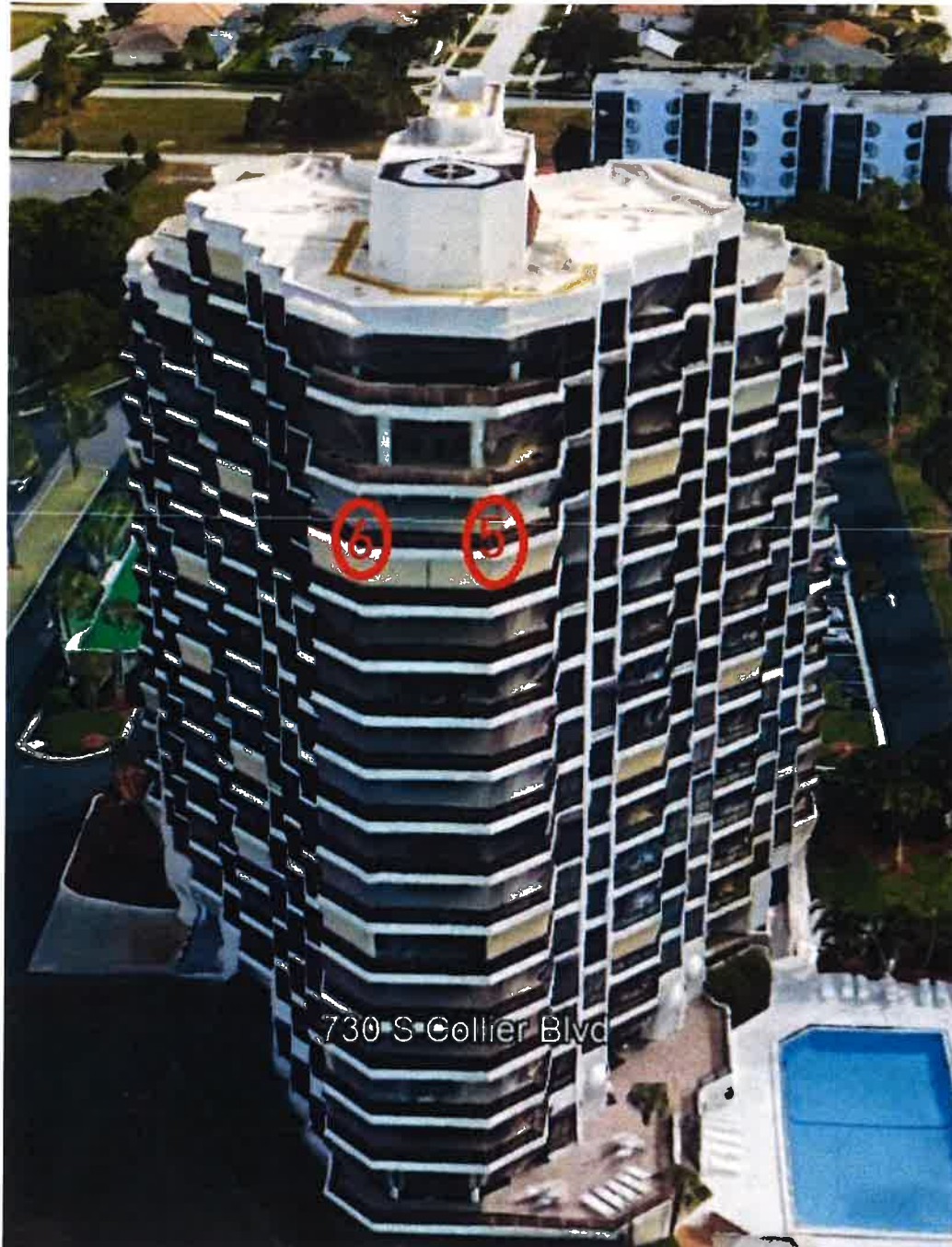
South Elevation



#3 Paint Blistering



#4 Paint Blistering / Cracking



West Elevation



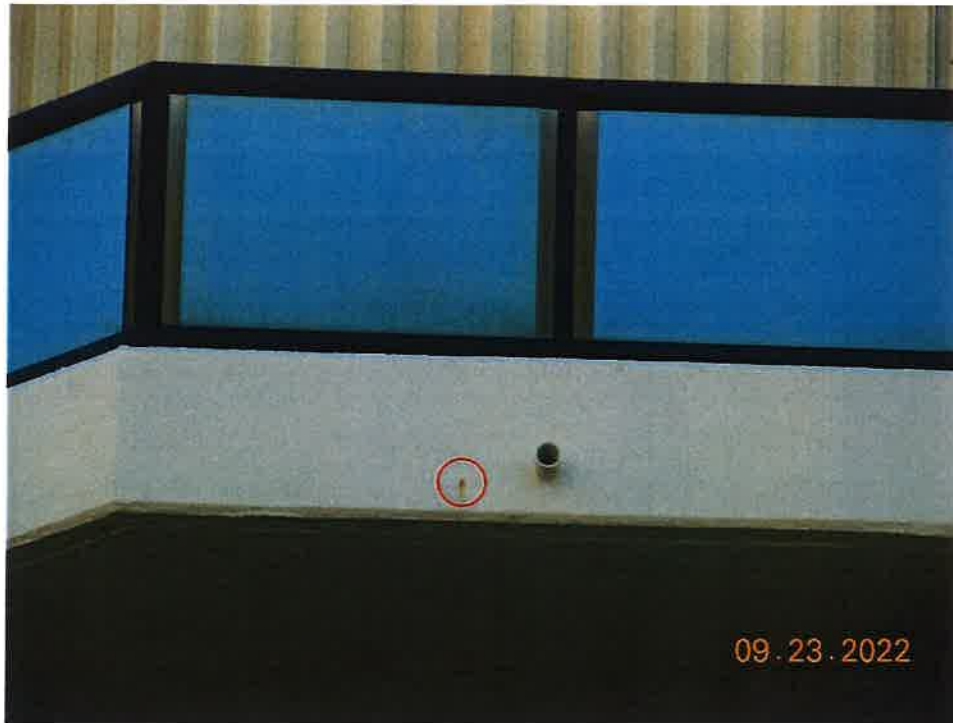
#5 Rust Spot



#6 Rust spot



North Elevation



#7 Rust Spot



#8 Rust Spot



#9 Rust Spot

Parking Garage:

The parking garage is a single story reinforced concrete parking garage with a recreational area on the roof. The structure is in very good condition. The athletic surface above shows signs of wear and there are areas of paint blistering at the ceiling deck indicating potential moisture infiltration.



Parking Structure



Paint Blistering



Rusted Rood Drains and Hangers

Based on the limited structural review, it is our opinion that the building is in good structural condition and well maintained. We have identified some structural elements that should be addressed. W.J. Johnson & Associates recommends the following:

- The Upper roof be inspected on a scheduled yearly basis.
- The structural damage at the roof areas should be repaired within one year.
- The stairwell moisture problem should be repaired within one year.
- The stairwell pass doors should be replaced.
- The skylight should be replaced to meet the current impact and wind loads.
- The exterior areas of concern should be addressed at the next painting cycle.
- The lower carport/vestibule roof should be repaired and or replaced within one year.
- The parking structure roof /athletic surface should be repaired or replaced within two years.
- The rusted storm drain pans and pipe hangers at the parking garage should be replaced within two years.

It is understood that this limited structural review does not meet the full criteria of the Miami – Dade 40-year-Old Building Recertification or the Broward County 40-year Safety Inspection Program, nor does it certify the structural integrity of the structures.

Please feel free to contact W.J. Johnson & Associates if you have any questions.

Sincerely,

W.J. JOHNSON & ASSOCIATES

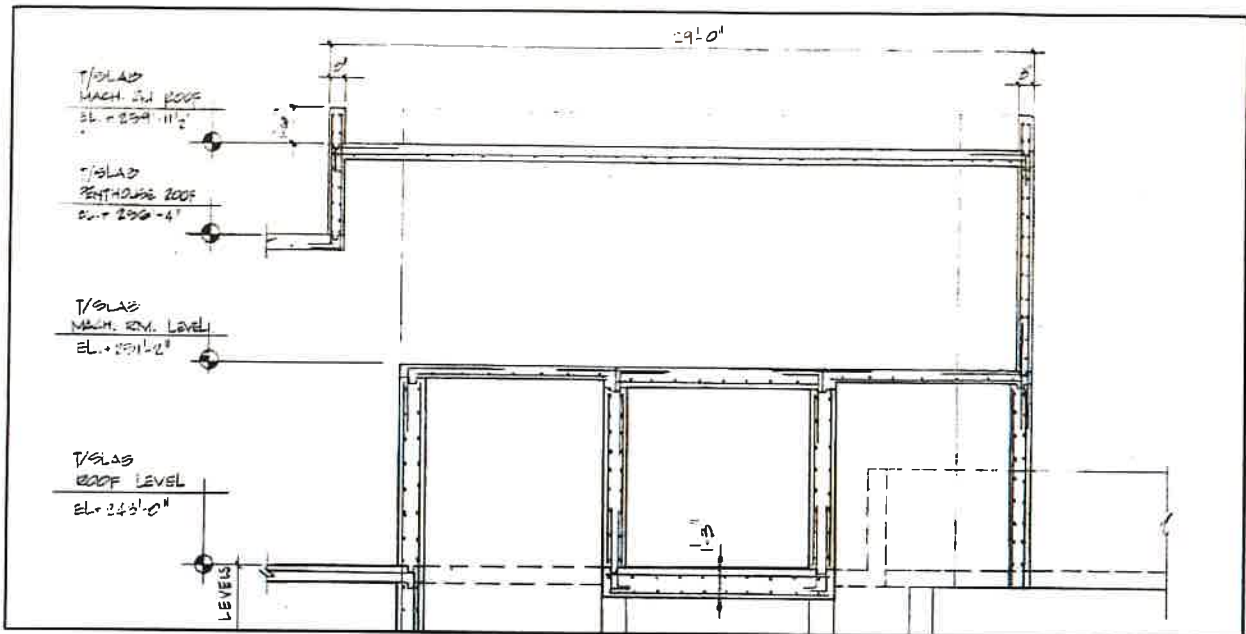
Chris Eseppe
Christopher Eseppe, PE#: 84902
Principal Engineer



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W.J. JOHNSON & ASSOCIATES

Engineering, Landscape Architecture and Reserve Studies



Roof Section Detail



Membrane Roof System

9696 Bonita Beach Road, Suite 208 - Bonita Springs, Florida 34135 (239) 596-3200 - Fax: (239) 596-3201
Professional Engineer COA# 34078 • Landscape Architecture #L.A6667510



Wind Curtains Being Installed



Wind Curtains Being Installed



Impact Rated Pass Doors



Storm Shutters at Windows



Storm Shutters at Ground Level



Storm Shutters at Lanais

W.J. JOHNSON & ASSOCIATES

Engineering, Landscape Architecture and Reserve Studies

January 18, 2024

Board of Directors
c/o: Ms. Linda Flanigan, Manager
The Sandcastle I Condominium Association, Inc.
730 South Collier Boulevard
Marco Island, FL 34145

Phone: (239) 642-6500
Email: office@sandcastle1.com

Subject: **HB-4D Phase I Structural Inspection**
 Sandcastle I Condominium
 730 south Collier Boulevard
 Marco Island, FL
 Project #: 05128.09

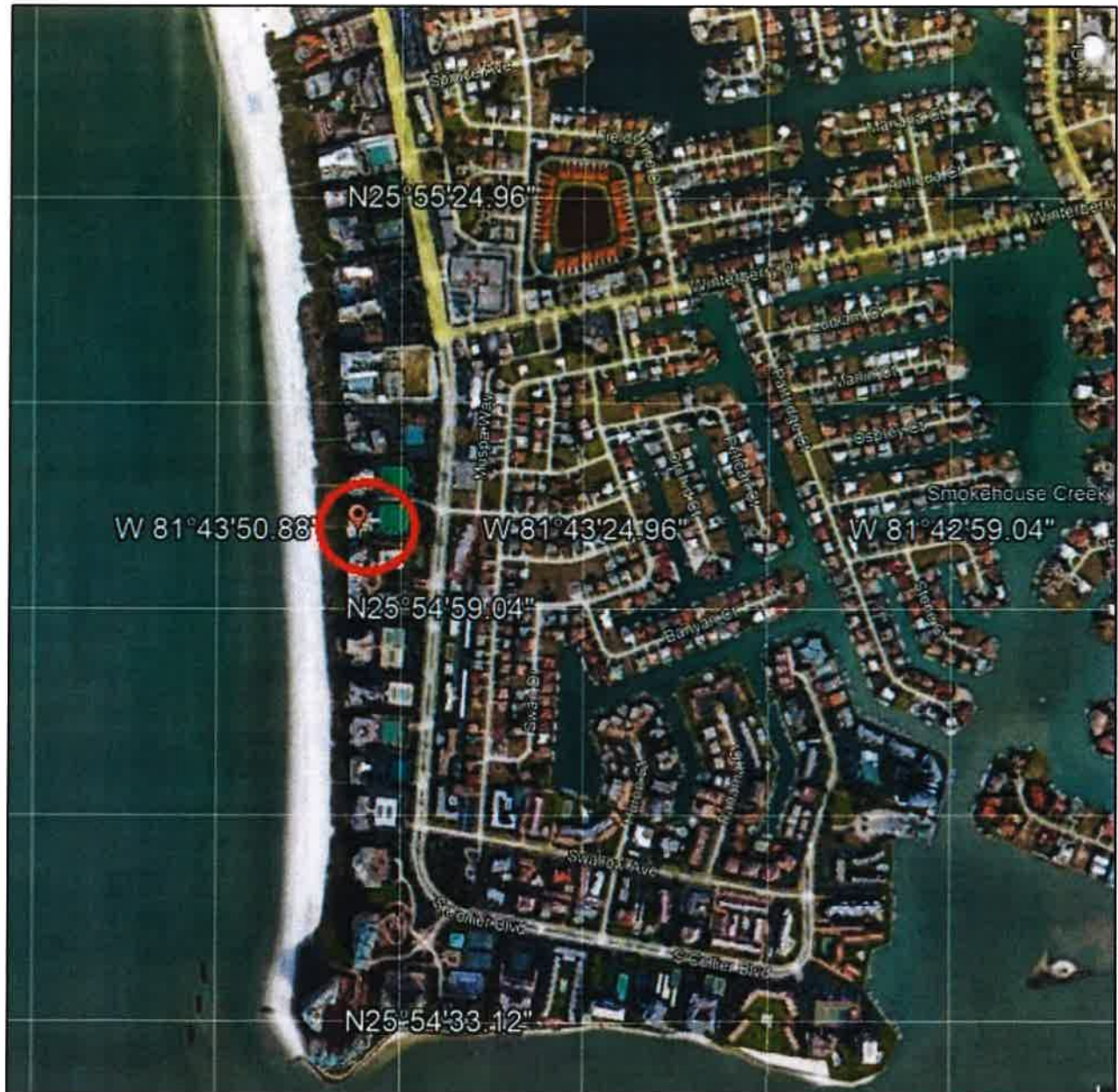
To the Board of Directors,

At the request of Ms. Linda Flanigan, I had the opportunity to complete a field inspection of the visually accessible structural elements at Sandcastle I Condominium located at 730 South Collier Boulevard, Marco Island, FL. This inspection included a visual inspection of all exposed structural members in the common areas, and the roof have been completed to meet the requirements of the HB-4D, Phase I structural requirements.



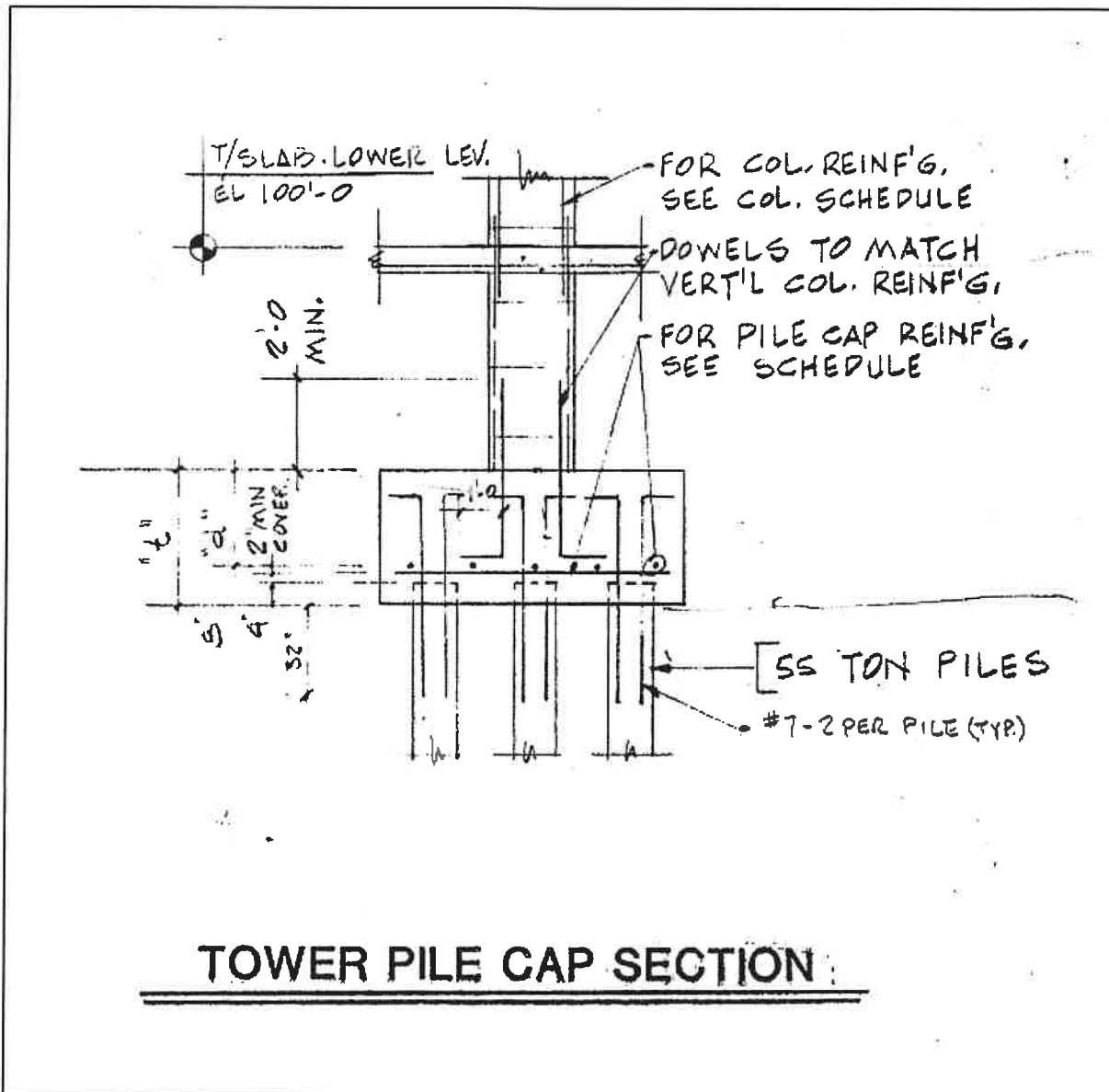
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South Elevation



North Elevation

Maintenance and Repairs:

I was met on site by the building Manager, Ms. Linda Flanigan. Ms. Flanigan was able to provide a history of the building's maintenance and repairs. The follow repairs and maintenance were completed:

- Exterior painting and stucco repair was completed in 2019. This work included lanai edge concrete repairs as needed.
- New hurricane rated doors were installed at the common areas.
- The building is on a seven-year painting cycle.
- A visual structural inspection was performed in September of 2022 by W.J. Johnson & Associates.
- The building was pressure-washed in 2023, post Hurricane Ian. During that time, any minor structural issues were addressed and repaired.
- The roof was replaced in 2006 and is inspected and repaired on a yearly basis.
- The front canopy skylight was replaced in 2023.
- 90% of the exist stair doors were replaced in 2023.

Inspections:

All interior common areas were visually inspected where accessible, including the roof, stairwells, walkways, elevator room, electrical rooms, and the parking garage. The building exterior was visually inspected on all sides. Binoculars were used to view the areas above the first floor.

Based on these limited non-destructive inspections and within a reasonable amount of engineering certainty, I did not observe conditions that would compromise the structural integrity of the building for its intended use. Any minor structural deficiencies were addressed in 2023, post Hurricane Ian.

Roof Area:

The roof system is a Fiber Tight membrane system installed in 2006. This type of system should produce a 30-year life cycle. The roof was recently inspected by Sutter Roofing who will be doing repairs. Roof inspections are done on an as-needed basis. The roof is in good condition and should provide an additional 8 to 10 years of service. It is recommended that the roof be inspected by a qualified roofing company annually.





Exterior Accessways:

Each level of the East side of the building is serviced by an exterior walkway. These areas are susceptible to moisture damage during a tropical rain event. These areas are protected by hurricane curtains manually attached to the structure.



Building Exterior:

The exterior of the building is constructed using reinforced concrete columns and beams with masonry wall and a stucco finish. Sandcastle I engaged W.J. Johnson & Associates to do a visual structural walk through in the Fall of 2022. During this inspection we noted that all of the suggested minor repairs from the 2022 report have been addressed and no additional areas of concern were noted.



Executive Summary:

Based on the limited structural review, it is our opinion that the building is in good structural condition and well maintained.

- This Inspection has been performed in accordance with Florida Statute 553.899.
- The scope of this review is limited to a visual condition inspection of the accessible structural components of the building. This includes all visible structural elements, elevator shafts, stairways and the roof. Structural components include load bearing columns, beams, slabs and walls. Any area showing deterioration such as concrete cracking or spalling, exposed rebar, rust stains, water intrusion, deflection, misalignment or settling has been identified.
- There are no minor areas of concern on this building.
- There are no additional inspections recommended at this time.
- Renew Phase I milestone inspection in 10 years per Florida Statute.
- **A Phase II inspection is not required at this time.**

Please feel free to contact W.J. Johnson & Associates if you have any questions.

Sincerely,

W.J. JOHNSON & ASSOCIATES

Chris Eseppi
Christopher Eseppi, PE#: 84902
Principal Engineer



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Christopher
P Eseppi
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