

PHOTOGRAPH #21



**BALCONIES
UNITS 109/209**

During Phase I, distress was observed at the concrete slab and was identified as an area that required further investigation. During Phase II inspection, the two locations with distress were sounded, chipped, and visually observed. The inspection revealed that concrete had spalled at these locations due to the lack of sufficient clear cover for the hooked reinforcement bars. The observed conditions represented substantial structural damage.

PHOTOGRAPH #22



**BALCONIES
UNITS 109/209**

During Phase I, distress was observed at the concrete slab and was identified as an area that required further investigation. During Phase II inspection, the two locations with distress were sounded, chipped and visually observed. The inspection revealed that concrete had spalled at these locations due to the lack of sufficient clear cover for the hooked reinforcement bars. The observed conditions represented substantial structural damage.

PHOTOGRAPH #23



**BALCONIES
UNIT 202**

Corroded and open fastener hole at balcony edge screen enclosure bottom rail. This condition does not represent substantial structural deterioration. Note: typical condition throughout.

PHOTOGRAPH #24



**BALCONIES
UNIT 206**

Delaminated tile at balcony. This condition does not represent substantial structural deterioration.

PHOTOGRAPH #25



**BALCONIES
UNIT 206**

During Phase I inspection, cracks were observed at the concrete under the balcony sliding glass door and was identified as an area that required further investigation during. During Phase II inspection, the area with distress was sounded, chipped and visually observed. The inspection revealed that the concrete had spalled at these locations due to the lack of sufficient clear cover for the reinforcement bar. The observed conditions represented substantial structural damage.

PHOTOGRAPH #26



**BALCONIES
UNITS 208/308**

During Phase I inspection, multiple isolated distress locations at the slab edges of Unit 208/308 were observed and identified as areas that required further investigation. During Phase II inspection we sound, chipped and visually observed the subject area. The inspection revealed that at the northeast corner, concrete spalled due the lack of required clear cover for the hooked reinforcement bars. The observed conditions represented substantial structural damage.

PHOTOGRAPH #27



**BALCONIES
NORTH ELEVATION
UNITS 208/308**

During Phase I inspection, multiple isolated distress locations at the slab edges of Unit 208/308 were observed and identified as areas that required further investigation. During Phase II inspection we sound, chipped and visually observed the subject area. The inspection revealed that at the northeast corner, concrete spalled due the lack of required clear cover for the hooked reinforcement bars. The observed conditions represented substantial structural damage.

PHOTOGRAPH #28



**BALCONIES
NORTH ELEVATION
UNITS 208/308**

During Phase I inspection, multiple isolated distress locations at the slab edges of units 208/308 were observed and identified as areas that required further investigation. During Phase II inspection we sound, chipped and visually observed the subject area. The inspection revealed that along the west slab edge, concrete spalled due the corrosion of an electrical conduit. The observed conditions represented substantial structural damage.

PHOTOGRAPH #29



**BALCONIES
NORTH ELEVATION
UNITS 214/314**

During Phase I inspection, distress at an isolated location along the slab edge was observed and identified as an area that required further investigation. During Phase II inspection we sounded, chipped, and visually observed the subject area. The investigation revealed that concrete spalled due the lack of required clear cover for the hooked reinforcement bars. The observed conditions represented substantial structural damage.

PHOTOGRAPH #30



**BALCONIES
NORTH ELEVATION
UNITS 215/315**

During Phase I inspection, distress at an isolated location of the slab edge was observed and identified as an area that required further investigation. During Phase II inspection we chipped and removed the existing surface finish at the subject area. The investigation revealed that the area had been finished and painted over a previous concrete spall with exposed steel, but concrete was sound. However, the current finishes are delaminated. The observed conditions did not represent substantial structural damage. However, we recommend patch repair concrete and refinish to avoid future structural damage.

PHOTOGRAPH #31



**BALCONIES
NORTH ELEVATION
UNITS 215/315**

Rust stain at balcony slab edge. This condition does not represent substantial structural deterioration.

PHOTOGRAPH #32



**BALCONIES
UNIT 303**

Tile crack at balcony floor slab. This condition does not represent substantial structural deterioration.

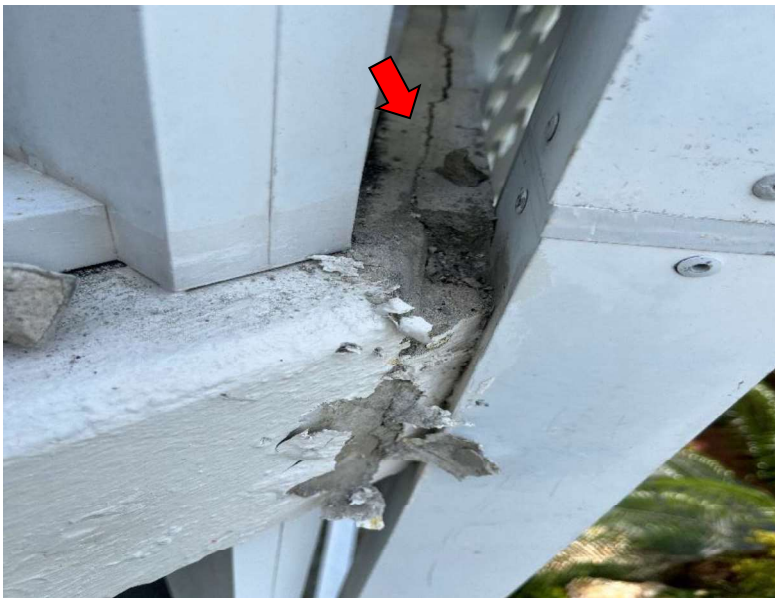
PHOTOGRAPH #33



**BALCONIES
UNIT 306**

Corroded and open fastener hole at balcony edge screen enclosure bottom rail. This condition does not represent substantial structural deterioration. Note: typical condition throughout.

PHOTOGRAPH #34



**BALCONIES
UNIT 307**

During Phase I inspection, cracks along the edge of the slab were observed and identified as an area that required further inspection. During Phase II inspection we sounded, chipped, and visually observed some of the cracked portion of the slab edge. The investigation revealed that the cracks were limited to the unbonded stucco, and the concrete was not damaged. The observed condition does not represent substantial structural damage; however, we recommend that the unbonded stucco along the edge of the slab be repaired and painted to avoid moisture intrusion and future structural damage.

PHOTOGRAPH #35



**BALCONIES
UNIT 307**

During Phase I inspection, cracks along the edge of the slab were observed and identified as an area that required further inspection. During Phase II inspection we sounded, chipped, and visually observed some of the cracked portion of the slab edge. The investigation revealed that the cracks were limited to the unbonded stucco, and the concrete was not damaged. The observed condition does not represent substantial structural damage; however, we recommend that the unbonded stucco along the edge of the slab be repaired and painted to avoid moisture intrusion and future structural damage.

PHOTOGRAPH #36



**BALCONIES
UNIT 312**

Corroded and open fastener hole at balcony edge screen enclosure bottom rail. This condition does not represent substantial structural deterioration. Note: typical condition throughout.

PHOTOGRAPH #37



**BALCONIES
UNIT 408**

Corroded and open fastener hole at balcony edge screen enclosure bottom rail. This condition does not represent substantial structural deterioration. Note: typical condition throughout.

PHOTOGRAPH #38



**WALKWAYS
1ST FLOOR
OVERVIEW**

PHOTOGRAPH #39



**WALKWAYS
2ND FLOOR
OVERVIEW**

PHOTOGRAPH #40



**WALKWAYS
3RD FLOOR
OVERVIEW**

PHOTOGRAPH #41



**WALKWAYS
4TH FLOOR
OVERVIEW**

PHOTOGRAPH #42



**WALKWAYS
1ST FLOOR
ADJACENT UNIT 105/205**

During Phase I, at the underside of the walkway slab, cracks were observed and identified as a location that required further investigation. During Phase II, were removed the finishes and spalled concrete at the subject area. The investigation revealed that the concrete had spalled due to rusted rebar and poor post pocket installation. The condition represented substantial structural damage.

PHOTOGRAPH #43



**WALKWAYS
2ND FLOOR
ADJACENT UNITS 105/205**

During Phase I, at the underside of the walkway slab cracks were observed and identified as location that required further investigation. During Phase II, were removed the finishes and spalled concrete at the subject area. The investigation revealed that the concrete had spalled due to rusted rebar and poor post pocket installation. The condition represented substantial structural damage.

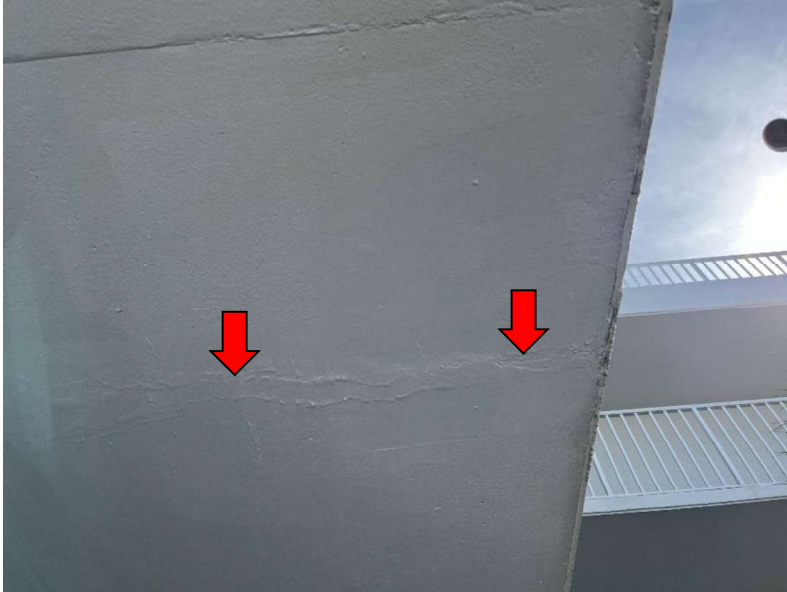
PHOTOGRAPH #44



**WALKWAYS
1ST FLOOR
ADJACENT UNIT 109**

During Phase I, at the underside of the walkway slab, cracks were observed and identified as an area that required further investigation. During Phase II inspection we sounded & chipped some of the concrete at the subject area. The investigation revealed that the concrete had spalled due to the corroded reinforcement steel. The condition represented substantial structural damage.

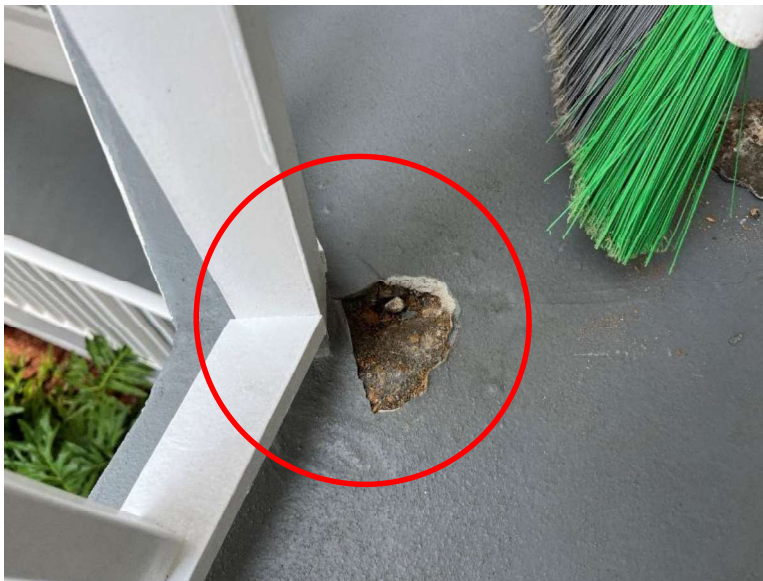
PHOTOGRAPH #45



**WALKWAYS
2ND FLOOR
ADJACENT UNIT 202**

Concrete crack at overhead walkway concrete cantilever slab. Note prior repair. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired.

PHOTOGRAPH #46



**WALKWAYS
2ND FLOOR
ADJACENT UNIT 204**

During Phase I, on the walkway slab, cracks were observed adjacent to a post pocket and identified as location that required further investigation. During Phase II, we removed the finishes at the subject area. The investigation revealed that the damage was limited to the delaminated floor coating and the concrete was not damaged. The observed condition did not represent substantial structural damage; however, we recommend that new flexible coating to be applied after appropriate surface preparation at the subject area to avoid future structural damage.

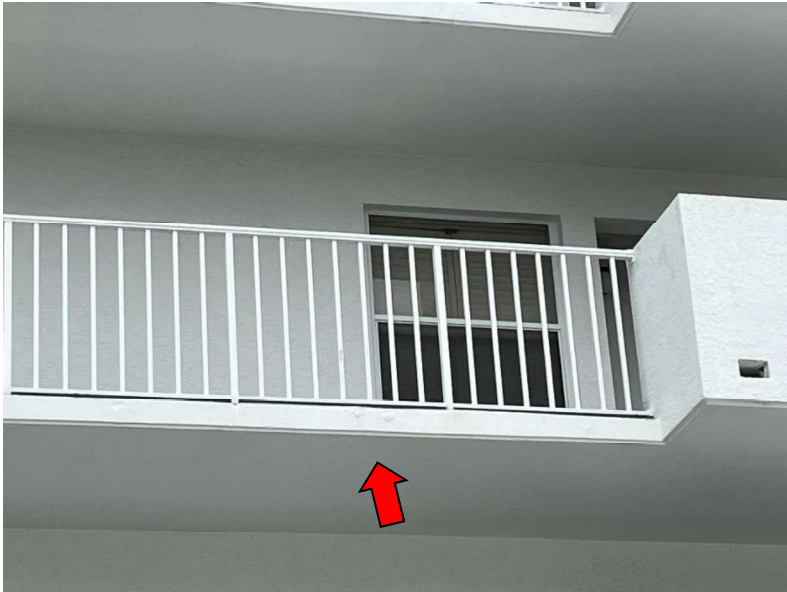
PHOTOGRAPH #47



**WALKWAYS
2ND FLOOR
ADJACENT UNIT 206**

Concrete crack and paint peeling at overhead walkway concrete cantilever slab. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired.

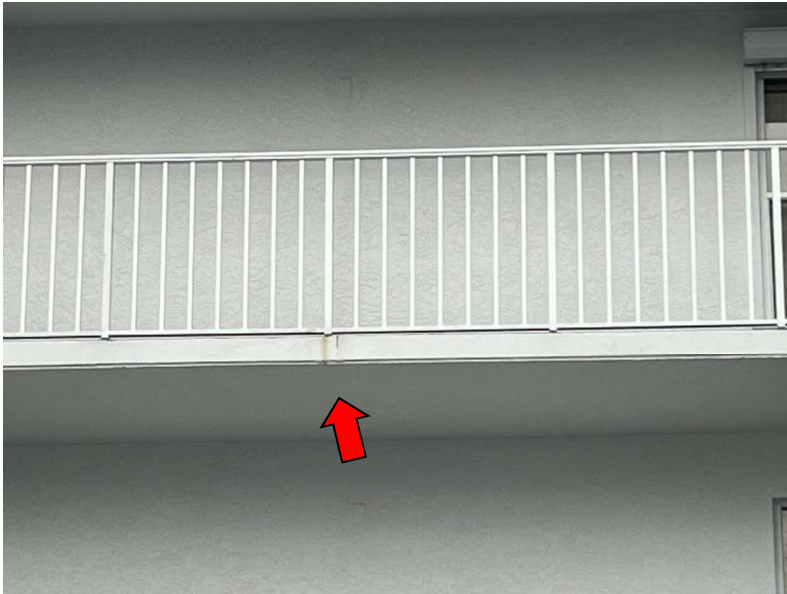
PHOTOGRAPH #48



**WALKWAYS
3RD FLOOR**

Concrete crack and paint peeling at walkway concrete cantilever slab edge. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired.

PHOTOGRAPH #49



**WALKWAYS
3RD FLOOR**

Rust staining at walkway concrete cantilever slab edge. This condition does not represent substantial structural deterioration.

PHOTOGRAPH #50



**WALKWAYS
3RD FLOOR
ADJACENT UNIT 312**

During Phase I inspection, concrete crack and spall at walkway slab edge were observed and identified as area that required further investigations. During Phase II inspection we sounded and chipped the spalled concrete. The investigation revealed that the concrete at this location had spalled due to corroded reinforcement bars. The conditions represented substantial structural damage.

PHOTOGRAPH #51



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 406**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. Investigations during phase II revealed that the condition did not represent substantial structural damage.

PHOTOGRAPH #52



**WALKWAYS
4TH FLOOR**

Paint peeling at walkway concrete cantilever slab edge. This condition does not represent substantial structural deterioration.

PHOTOGRAPH #53



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 405**

During phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During phase II inspection the surface finishes around the subject were removed. The investigation revealed that the concrete and post pocket was undamaged, and the distress was limited to the failed top coating at the subject area. The observed distress did not represent substantial structural damage; however, we recommend that new flexible coating to be applied after appropriate surface preparation at the subject area to avoid future structural damage.

PHOTOGRAPH #54



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 406**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. Investigations during phase II revealed that the condition did not represent substantial structural damage.

PHOTOGRAPH #55



**WALKWAYS
4TH FLOOR WALKWAY
EXPANSION JOINT
ADJACENT UNITS 407/307**

Deteriorated sealant at expansion joint. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired (Typ. at all walkway expansion joints).

PHOTOGRAPH #56



**WALKWAYS
4TH FLOOR WALKWAY
EXPANSION JOINT
ADJACENT UNITS 407/307**

Deteriorated sealant at expansion joint. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired (Typ. at all walkway expansion joints).

PHOTOGRAPH #57



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 408**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During Phase II inspection the surface finishes around the subject area were removed. The investigation revealed that the concrete and post pocket was undamaged, and the distress was limited to the failed top coating at the subject area. The observed distress did not represent substantial structural damage; however, we recommend that new flexible coating to be applied after appropriate surface preparation at the subject area to avoid future structural damage.

PHOTOGRAPH #58



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 408**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During Phase II inspection the surface finishes around the subject area were removed. The investigation revealed that the concrete and post pocket was undamaged, and the distress was limited to the failed top coating at the subject area. The observed distress did not represent substantial structural damage; however, we recommend that new flexible coating to be applied after appropriate surface preparation at the subject area to avoid future structural damage.

PHOTOGRAPH #59



**WALKWAYS
4TH FLOOR WALKWAY
EXPANSION JOINT
ADJACENT UNIT 409**

Rust staining of steel angle at walkway dropped beam from failure of expansion joint sealant. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired.

PHOTOGRAPH #60



**WALKWAYS
4TH FLOOR WALKWAY
EXPANSION JOINT
ADJACENT UNIT 409**

Rust staining of steel angle at walkway dropped beam from failure of expansion joint sealant. This condition does not represent substantial structural deterioration but could lead to structural deterioration if not repaired.

PHOTOGRAPH #61



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 409**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During Phase II inspection the surface finishes around the subject area were removed. The investigation revealed that the Portland cement grout around the post pocket had failed, however the concrete slab was undamaged. Although the condition did not represent substantial structural damage, the post pocket issue must be addressed in order to avoid future damage to structural components.

PHOTOGRAPH #62



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 409**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During Phase II inspection the surface finishes around the subject area were removed. The investigation revealed that the Portland cement grout around the post pocket had failed; however, the concrete slab was undamaged. Although the condition did not represent substantial structural damage, the post pocket issue must be addressed in order to avoid future damage to structural components.

PHOTOGRAPH #63



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 409**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During Phase II inspection the surface finishes around the subject area were removed. The investigation revealed that the Portland cement grout around the post pocket had failed; however, the concrete slab was undamaged. Although the condition did not represent substantial structural damage, the post pocket issue must be addressed in order to avoid future damage to structural components.

PHOTOGRAPH #64



**WALKWAYS
4TH FLOOR
ADJACENT UNIT 409**

During Phase I inspection, walkway surface distress (around post pocket) was observed and identified as an area that required further investigation. During Phase II inspection the surface finishes around the subject area were removed. The investigation revealed that the Portland cement grout around the post pocket had failed; however, the concrete slab was undamaged. Although the condition did not represent substantial structural damage, the post pocket issue must be addressed in order to avoid future damage to structural components.

PHOTOGRAPH #65



**EXTERIOR STAIRS
3RD FLOOR
OVERVIEW**

PHOTOGRAPH #66



**INTERIOR UNITS
UNIT 114
OVERVIEW**

PHOTOGRAPH #67



**INTERIOR UNITS
UNIT 201
OVERVIEW**

PHOTOGRAPH #68



**INTERIOR UNITS
UNIT 312
OVERVIEW**

PHOTOGRAPH #69



**INTERIOR UNITS
UNIT 104**

During Phase I inspection, delaminated ceramic floor tile was observed. Further investigation during Phase II, including partial removal of the delaminated tiles and sounding of the floor concrete below, indicated that the concrete floor slab was not damaged. The delaminated tiles were attributable to the expansion of the tiles due to temperature changes and the lack provision to allow tiles to expand. The observed conditions did not represent substantial structural damage.

PHOTOGRAPH #70



**INTERIOR UNITS
UNIT 104**

During Phase I inspection, delaminated ceramic floor tile was observed. Further investigation during Phase II, including partial removal of the delaminated tiles and sounding of the floor concrete below, indicated that the concrete floor slab was not damaged. The delaminated tiles were attributable to the expansion of the tiles due to temperature changes and the lack provision to allow tiles to expand. The observed conditions did not represent substantial structural damage.

PHOTOGRAPH #71



**INTERIOR UNITS
UNIT 206**

Paint bubbling at drywall.

PHOTOGRAPH #72



**INTERIOR UNITS
UNIT 209**

Paint peeling at bathroom ceiling drywall.

PHOTOGRAPH #73



**INTERIOR UNITS
UNIT 404**

Water stain at ceiling drywall.

PHOTOGRAPH #74



**INTERIOR UNITS
UNIT 404**

Water stain at ceiling drywall.

PHOTOGRAPH #75



**INTERIOR UNITS
UNIT 408**

Organic growth and staining at ceiling drywall.

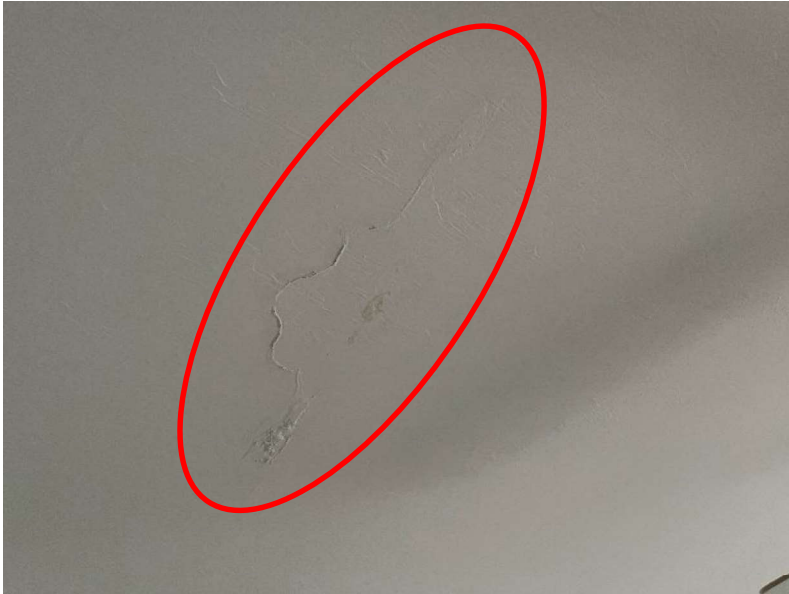
PHOTOGRAPH #76



**INTERIOR UNITS
UNIT 408**

Organic growth and staining at ceiling drywall.

PHOTOGRAPH #77



**INTERIOR UNITS
UNIT 411**

Water stain and cracking at ceiling drywall.

PHOTOGRAPH #78



**INTERIOR UNITS
UNIT 411**

Organic growth and staining at ceiling drywall.